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Aiken County
Planning and Development Department
1930 University Parkway, Suite 2800
Aiken, SC 29801
(803) 642-1520

SUBDIVISION REVIEW APPLICATION

Developer Information

Name of Subdivision: _____

Developer: _____

Mailing Address: _____

City: _____ State: _____ Zip Code: _____

Telephone: _____ Fax: _____ E-mail: _____

Project Information

Engineer: _____ Telephone: _____

Engineer's Address: _____

City: _____ State: _____ Zip Code: _____

Surveyor: _____ Telephone: _____

Surveyor's Address: _____

City: _____ State: _____ Zip Code: _____

Tax Parcel Number: _____ Zoning: _____ Acreage: _____ # of Lots: _____

Water and Sewer Service Provided By: _____ Fire District: _____

Affidavit

Under penalties of perjury, I certify to the best of my knowledge that the information given in this Application is both true and correct. It is expressly understood that the issuance of any County permit upon approval of this Application does not relieve me of my responsibility to comply with and adhere to all applicable federal, state, and local laws.

Signature of Applicant

Date

GENERAL SUBDIVISION DEVELOPMENT INFORMATION

Site Analysis

In an effort to comply with applicable federal and state laws, Aiken County requires a site analysis to be conducted to address certain design standards that preserve natural features on properties within its jurisdiction thereby minimizing potentially negative or hazardous impacts. Any information concerning protected wetlands, wildlife, flood plain areas, and/or historic landmarks must be indicated on the site plan. Please refer to the following government agencies and departments for further information:

SC Department of Health and Environmental Control	(803) 641-7671	Wetland Information
Aiken County Building Codes Division	(803) 642-1518	Flood Plain Information
SC Department of Natural Resources		Endangered Wildlife Information
Aiken County	(803) 641-7725	
Columbia	(803) 734-4007	
Boating	(800) 922-5431	
Game Warden	(803) 259-7900	
SC Department of Archives & History	(803) 896-6100	
SC Archeology	(803) 777-8170	Historic Structures & Sites
SC Department of Transportation	(803) 641-7665	Archeological Sites

If any of these conditions are determined to exist, a statement shall be placed on the site plan by the developer or applicant indicating such existence.

Parking

Two off-street parking spaces for each lot are required to be on the plat.

Utility Providers

The subdivision plat must indicate the water and sewer provider.

Drainage Calculations

Pursuant to the Federal Storm Water Management Act and Chapter 19-6 of the Aiken County Code of Ordinances, professional drainage calculations will be required for certain land disturbing activities involving more than one (1) acre or parcels containing greater than fifty (50) percent of impervious surface. The County Engineer will review each subdivision plat for storm water runoff to determine whether professional drainage calculations are necessary. If you have questions or need additional information concerning storm water, please contact the Aiken County Engineering Department at (803) 642-1535.

Airport Overlay District

A statement whether the property is within the Airport Overlay District must be provided on the plat.

National Pollution Discharge Elimination System (NPDES) Permit

For certain industrial and commercial developments, an NPDES Permit issued by DHEC must be submitted with the application before approval can be obtained. Please contact DHEC at (803) 642-1637 for more information.

Sign Permits

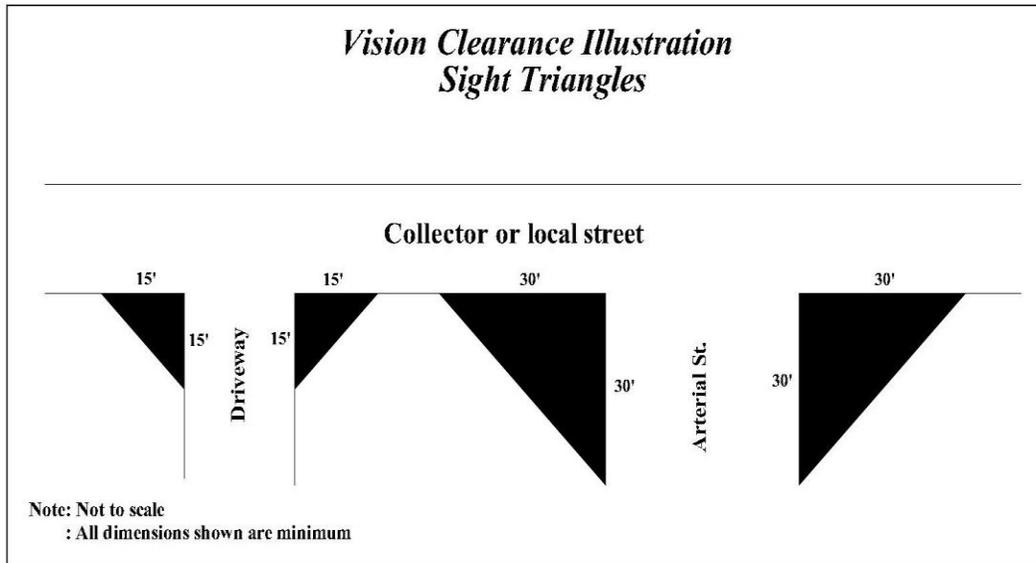
If signage is proposed for the subdivision, a sign permit must be obtained prior to the erection of any sign. Applications for signs are available from the Planning and Development Department.



SUBDIVISION SITE PLAN GUIDELINES

- For projects consisting of greater than ten (10) lots of land in the initial phase, potential future phases or if any infrastructure, such as a new road, is to be constructed, a letter must be submitted to the Planning and Development Department thirty (30) days prior to the Planning Commission's regularly scheduled meeting on the third Thursday of each month in order to be placed on the agenda for a preliminary site plan review
- Eleven sets of the site plan are required, at scale not less than 1"=200', sheet size 18"x24", not to exceed 24"x36"
- All information required of General Property and Closing Surveys, in accord with the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, promulgated under authority of the Code of Laws of South Carolina
- Site location map
- Land acreage, number of lots, and minimum lot size
- Label total acreage for road right-of-way and individual acreages on non-contiguous common area parcels
- A storm water analysis and control plan, as required by Chapter 19, Article 6, Section 19-80 of the Aiken County Code of Ordinances, including an erosion and sediment-control plan drafted by a qualified professional showing all structures and easements
- A storm water Notice of Intent from the SC Department of Health and Environmental Control (see <http://www.scdhec.gov/environment/water/swnpdes.htm>)
- Tax parcel number of the property to be subdivided
- Proposed layout and dimension of all streets, rights-of-way, pavement widths, lot lines, and easements, specifying purpose of easements
- Minimum front and rear yard setback lines and zoning classification
- Proposed bufferyards, open space, landscaping & tree protection plan if applicable
- Utilities on and adjacent to tract, and underground utility plan
- Land within identified areas of special flood hazard
- All existing physical features within or adjoining the tract, including lakes, streams, ditches, sanitary and inert landfills, whether in operation or closed
- Detailed street cross section and center line showing profiles for each street at minimum scale of 1"=50'

- A tentative road plan for an entire tract where only part of the tract in which an applicant has an interest is proposed for development
- Location and identification of off-site streets, public facilities, major physical features, names of owners and subdivisions contiguous or in proximity to the subdivision
- In case of a re-subdivision, the name and all portions of the previously recorded subdivision, together with the changes that are proposed
- The minimum visual clearance and site distances must be indicated at every road intersection to include the thirty (30') foot site triangles



Arterial road--Five hundred (500') foot visual clearance
 Collector road--Two hundred (200') foot visual clearance
 All other roads--One hundred (100') foot visual clearance

The following specific areas and resources shall be preserved to the extent consistent with the reasonable utilization of the site. The following areas of concern should be addressed and indicated in the General Notes portion on the plat:

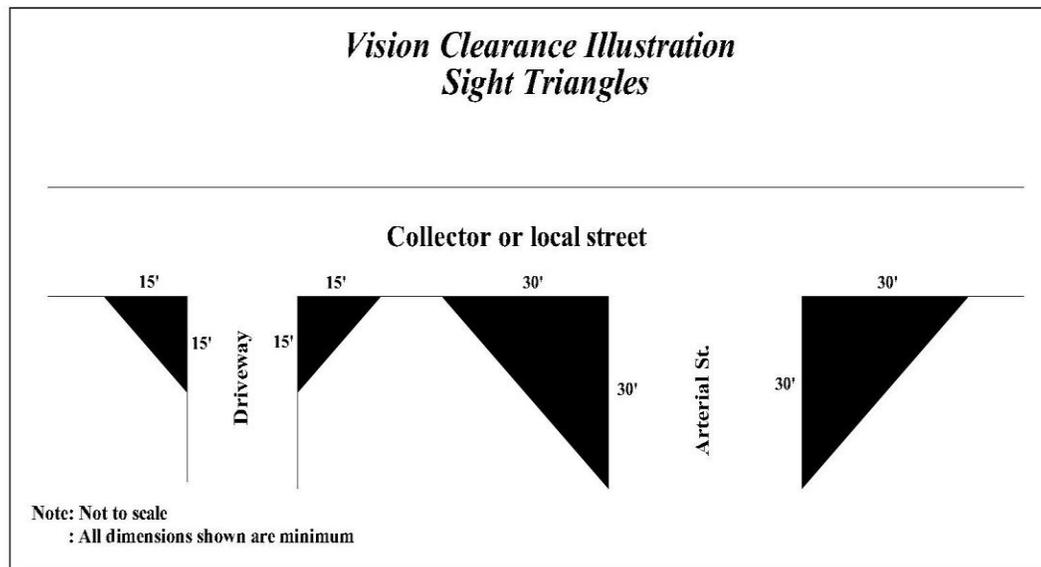
1. Unique and/or fragile areas, including wetlands as defined in Section 404, Federal Water Pollution Control Act Amendments of 1972, as determined by the U.S. Corps of Engineers, and/or as defined by the State of South Carolina.
2. Flood plain areas, as determined by FEMA (Federal Emergency Management Agency) and delineated on Flood Boundary Maps, Flood Insurance Rate Maps and Floodway Maps for Aiken County
3. Habitats of endangered wildlife, as identified on federal and state lists
4. Historically significant structures and sites, as listed on federal, state, and/or local lists of historical places
5. Archaeologically-significant sites, as listed on federal, state, and/or local lists and reports of archaeological sites



PRELIMINARY PLAT CHECKLIST

- For projects consisting of greater than ten (10) lots of land in the initial phase, potential future phases or if any infrastructure, such as a new road, is to be constructed, a letter must be submitted to the Planning & Development Department thirty (30) days prior to the Planning Commission's regularly scheduled meeting on the third Thursday of each month in order to be placed on the agenda for a preliminary site plan review
- Eleven copies of plat, at scale not less than 1"=200', sheet size 18"x24", not to exceed 24"x36"
- All information required by the Aiken County Plat Standards, Aiken County Survey Tie-Down Standards, and Aiken County Digital Data Submission Standards as applicable
- All information required of General Property and Closing Surveys, in accord with the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, promulgated under authority of the Code of Laws of South Carolina
- Site Location Map
- Land acreage, number of lots, and minimum lot size
- Label total acreage for road right-of-way and individual acreages on non-contiguous common area parcels
- Type of water supply and sewerage service
- Two sets of drainage calculations including a storm water analysis and control plan, as required by Chapter 19, Article IV, §19-80 of the Aiken County Code of Ordinances, and erosion and sediment-control plan, by a qualified professional, showing all structures and easements
- A Storm water analysis and control plan, as required by Chapter 19, Article 6, Section 19-80 of the Aiken County Code of Ordinances, including an erosion and sediment-control plan drafted by a qualified professional showing all structures and easements
- A storm water Notice of Intent from the SC Department of Health and Environmental Control (see <http://www.scdhec.gov/environment/water/swnpdes.htm>)
- Tax parcel number of property to be subdivided
- Proposed layout, bearings and distances of all political lines, tract boundary lines, pavement widths, right-of-way widths, road centerlines, lot lines, monuments / markers, and easements, specifying purpose of easements
- Minimum front and rear yard setback lines and zoning classification
- Proposed bufferyards, open space, landscaping & tree protection plan if applicable
- Required off-street parking
- Utilities on and adjacent to tract, and underground utility plan

- Land within identified areas of special flood hazard
- All existing physical features within or adjoining the tract, including lakes, streams, ditches, sanitary and inert landfills, whether in operation or closed
- Detailed street cross section and center line showing profiles for each street at minimum scale of 1'=50'
- A tentative road plan for an entire tract where only part of the tract in which an applicant has an interest is proposed for development
- Location and identification of off-site streets, public facilities, major physical features, names of owners and subdivisions contiguous or in proximity to the subdivision
- In case of a re-subdivision, the name and all portions of the previously recorded subdivision, together with the changes that are proposed
- The minimum visual clearance and site distances must be indicated at every road intersection to include the thirty (30') foot sight triangles (see LMR Sec 24-8.5)



The following specific areas and resources shall be preserved to the extent consistent with the reasonable utilization of the site. The following notes should be addressed either on the plat or on a letter to be placed in the file:

- Unique and/or fragile areas, including wetlands as defined in Section 404, Federal Water Pollution Control Act Amendments of 1972, as determined by the U.S. Corps of Engineers, and/or as defined by the State of South Carolina
- Flood plain areas, as determined by FEMA (Federal Emergency Management Agency) and delineated on Flood Boundary Maps, Flood Insurance Rate Maps and Floodway Maps for Aiken County
- Habitats of endangered wildlife, as identified on federal and state lists
- Historically significant structures and sites, as listed on federal, state, and/or local lists of historical places
- Archaeologically-significant sites, as listed on federal, state, and/or local lists and reports of archaeological sites



FINAL PLAT CHECKLIST

- Nine copies of plat, at scale not less than 1"=200', sheet size 18"x24", not to exceed 24"x36"
- All information required by the Aiken County Plat Standards, Aiken County Survey Tie-Down Standards, and Aiken County Digital Data Submission Standards as applicable
- All information required of General Property and Closing Surveys, in accord with the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, promulgated under authority of the Code of Laws of South Carolina
- Revised plat amendments as required by the Planning Commission or Planning Director
- Exact locations, bearings and distances of all political lines, tract boundary lines, pavement widths, right-of-way widths, road centerlines, easements, lot lines, monuments and markers
- Site Location Map
- Land acreage, number of lots, and minimum lot size
- Label total acreage for road right-of-way and individual acreages on non-contiguous common area parcels
- Type of water supply and sewerage service
- Tax parcel number of property to be subdivided
- Road treatment - paved or unpaved
- Minimum front and rear yard setback lines and zoning classification
- Proposed bufferyards, open space, landscaping & tree protection plan if applicable
- Required off-street parking
- Land within identified areas of special flood hazard
- All existing physical features within or adjoining the tract, including lakes, streams, ditches, sanitary and inert landfills, whether in operation or closed
- Certificates of survey accuracy, ownership and dedication, and approval by the Planning Commission or Planning Director
- Location and identification of off-site streets, public facilities, major physical features, names of owners and subdivisions contiguous or in proximity to the subdivision
- In case of a re-subdivision, the name and all portions of the previously recorded subdivision, together with the changes that are proposed

- The minimum visual clearance and site distances must be indicated at every road intersection to include the thirty (30') foot sight triangles (see LMR Sec 24-8.5)

Supporting documents, to include the following:

- Final detailed as built plans for all improvements
- A copy of all restrictions (covenants) to run with land
- A resolution by County Council accepting dedicated improvements or a performance guaranty
- Maintenance Bond, Letter of Credit, Cash, or Surety Bond
- Required encroachment permits from SC Department of Transportation
- Owner/contractor affidavit
- Certificate of Title
- Lien Release if applicable
- Warranty deed
- If a private subdivision, need a private road maintenance agreement and a private detention/pond/common area agreement
- DHEC approval of water and sewer systems
- County Engineer approval of installation and construction work, or Council acceptance of a performance guaranty
- Surveyor's CAD file of the final subdivision plat provided by e-mail to vreynolds@aikencountysc.gov or on CD or DVD
- Fees for recording

The following specific areas and resources shall be preserved to the extent consistent with the reasonable utilization of the site. The following notes should be addressed either on the plat or on a letter to be placed in the file:

- Unique and/or fragile areas, including wetlands as defined in Section 404, Federal Water Pollution Control Act Amendments of 1972, as determined by the U.S. Corps of Engineers, and/or as defined by the State of South Carolina
- Flood plain areas, as determined by FEMA (Federal Emergency Management Agency) and delineated on Flood Boundary Maps, Flood Insurance Rate Maps and Floodway Maps for Aiken County
- Habitats of endangered wildlife, as identified on federal and state lists
- Historically significant structures and sites, as listed on federal, state, and/or local lists of historical places
- Archaeologically-significant sites, as listed on federal, state, and/or local lists and reports of archaeological site



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Aiken County
Stormwater Division
1930 University Parkway, Suite 3300
Aiken, SC 29801
(803) 642-1535

STORM WATER MANAGEMENT PERMIT APPLICATION
FOR LAND DISTURBING ACTIVITIES (NOI) ON PROJECTS LESS THAN ONE ACRE

Date: Project Description/ Site Name:

I. Project Information

Project Owner (company or person):
Permit Contact (if owner is company): Company EIN:
Mailing Address: City: State: Zip:
Phone: (Day) Cell: FAX:

II. Property Information

Site Location (street address, nearest intersection, etc.):
City/Town (if in limits): Tax Map # (list all):

III. Site Information

A. Disturbed area (to the nearest tenth of an acre): acres Total area:
B. Is this project part of a Larger Common Plan for Development or Sale (LCP)? Yes No
If yes and the total disturbed area of this project and the LCP is equal to or greater than one acre then you must apply for permit coverage under the NPDES General Permit SCR100000.
C. Start Date: (MM/DD/YYYY) Completion Date:
D. Is this NOI being submitted in response to a Notice to Comply issued by S.C. DHEC or Aiken County? Yes No
E. Type of Activity (check all that apply):
Commercial Residential: Single-family Linear (Roads, utility lines, etc.) Other:
Institutional Residential: Multi-family Site Preparation (No new impervious)
F. Are there any flooding problems downstream or adjacent to this site?

IV. Waterbody Information

A. Nearest receiving waterbody(s): Distance to this waterbody (feet):

V. Signatures and Certifications: DO NOT SIGN IN BLACK INK!

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I hereby certify that all land-disturbing construction and associated activity pertaining to this site shall be accomplished pursuant to and in keeping with the terms and conditions of the approved plans and SCR100000. I also certify that a responsible person will be assigned to the project for day-to-day control. I hereby grant authorization to the Department of Health and Environmental Control and/or the local implementing agency the right of access to the site at all times for the purpose of on-site inspections during the course of construction and to perform maintenance inspections following the completion of the land-disturbing activity. (See Section 122.22 of S.C. Reg. 61-9 for signatory authority information.)

Printed Name of Project Owner/Operator

Signature of Project Owner/ Operator

Date

EROSION AND SEDIMENT CONTROL FOR HOME BUILDER



Erosion is a costly problem

Eroding construction sites are a leading cause of water quality problem in South Carolina. For every acre under construction, about a dump truck and a half of soil washes into a nearby lake or stream unless the contractor uses erosion controls.

Problems caused by this sediment includes:

Local Taxes or Fees- Cleaning up sediment in street, storm drains and ditches adds extra cost to county budget.

Dredging- The expense of dredging sediment from lakes, and detention ponds is a heavy burden for both the County and private property owners.

Lower property values- Neighboring property values are damaged when a lake or stream fill with sediment. Shallow areas encourage weed growth and create boating hazards.

Poor fishing- Muddy water drives away fish that rely on sight to feed. As it settles sediment smother gravel beds where fish like small mouth bass find food and lay their eggs.

Nuisance growth of weeds and algae- sediment carries fertilizer that fuel algae and weed growth.

Preserving Existing Vegetation

- Wherever possible, preserve existing trees, shrubs and other vegetation.
- To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation.
- Place plastic mesh buffer/tree save barriers around trees at drip line, to protect the root area below their branches

Controlling Erosion and Sedimentation

Erosion control is important for all construction sites. The material needed are easy to find and relatively inexpensive- silt fence, stakes, rock slope drains grass seed, mulch or geo-textiles. Putting these materials to use is a straight forward process. Only a few controls are needed on most sites, however all erosion controls must be maintained daily.

- Use of a silt fence
- Use of a construction exit
- Temporary mulching / grassing
- Slope drains on all vertical slopes
- Rip rap at the outflow end of all storm drain and basins shall be installed.

Penalties

- Court imposed penalties for violations carry a maximum fine of \$1000 and/or up to 30 days in jail.

Soil piles

- Locate away from any down slope, street, driveway, stream, lake, wetland, ditch, or drainage way.
- Stabilize with mulch and /or vegetation. Temporary seed such as annual rye or winter wheat is recommended for topsoil piles.

State Water Buffers

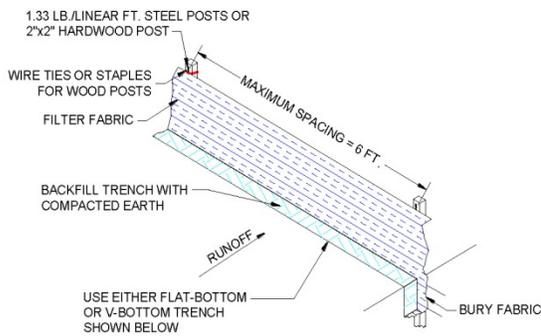
- Land disturbing (clearing, grubbing or grading) within 50 feet of the banks of **ALL** creek, streams, ponds, lakes, and wetlands must have two rows of state approved silt fence 10 feet apart with steel post spaced a maximum 6-feet centers with wire backing.

Sediment Cleanup

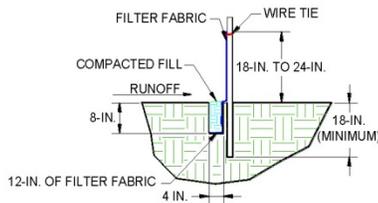
- By the end of each work day, sweep or scrape up soil tracked onto the road. Stabilize with mulch and/or vegetation on all areas at finish grade while maintaining normal erosion controls.

Silt Fence

- Install prior to land disturbance
- Install on down slope side of site parallel to contour of land.
- Extend ends up slope enough to allow water to pond behind fence.
- Bury fabric/silt fence in trench 8 inches deep with 4 inch lip.
- Leave no gaps. Overlap section of silt fence, or twist ends of silt fence together.
- Inspect and repair daily. Remove sediment if deposits reach half the fence height.
- Use 2 rows of state approved silt fence adjacent to state waters, lakes, wetlands, and streams.



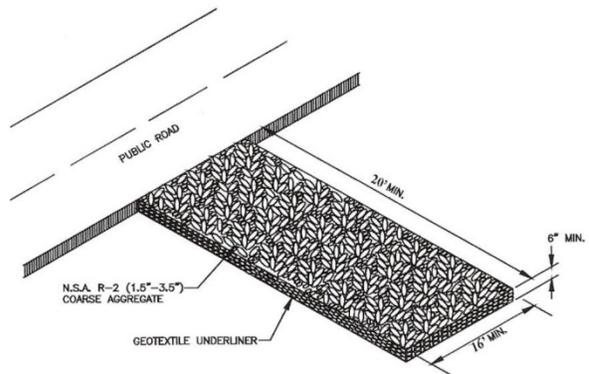
SILT FENCE INSTALLATION



FLAT-BOTTOM TRENCH DETAIL

Home Building Construction Entrance/Exist Pad

- Install a construction Entrance/Exist Pad using 1.5 to 3.5 inch diameter aggregate.
- Lay stone 6 inches thick, at least 20 feet long from the back of curb or edge of pavement, and a minimum 16 feet wide.
- Use geo-textile underliner for entire pad.
- Use to prevent tracking mud onto the road by all vehicles.
- Must be maintained daily throughout construction.



All Home Builder / Owners involved in residential construction in Aiken County must fill out and sign a Notice of Intent (NOI). This NOI is required by Aiken County and the Department of Health and Environmental Control (DHEC).